



Postern House, Postern Close, York £2,000 Per Month

Postern House offers a riverside location, right in the heart of York, providing wonderful views throughout the property, with the amenity of one's own garage, drive and river-facing garden.



Accommodation

Arranged over three spacious floors, the larger than average property is entered via a welcoming hallway providing access to a ground floor double bedroom, utility room, and a convenient WC. There is also internal access to the integral garage, along with own drive to the front, with access to further off street visitor parking as needed. – a rare advantage for this central location.

To the first floor is a generous sitting room, filled with natural light and providing direct access onto the balcony, creating an ideal space to relax and enjoy views over the city rooftops and riverside. The adjoining kitchen is well presented, fitted with a range of units, integrated appliances, and space for dining.

The top floor hosts the impressive principal bedroom with built-in wardrobes and an en-suite shower room, alongside a further double bedroom and the modern family bathroom, providing flexible accommodation ideal for professionals, families, or those seeking guest space.

To The Outside

Externally, the property benefits from a small private rear garden with riverside views, offering a peaceful outdoor area for seating and planting, rarely found with city centre homes.

With York's historic streets, cafes, restaurants, shops, and the station all just moments away, this is a superb opportunity to rent a riverside townhouse with parking in a highly sought-after location.

Early viewing is highly recommended to fully appreciate the lifestyle and accommodation this home offers.

Property Information

Services/Utilities: Mains Gas, Electricity, Water and Sewerage are understood to be connected

Broadband Coverage: Up to 10000* Mbps download speed

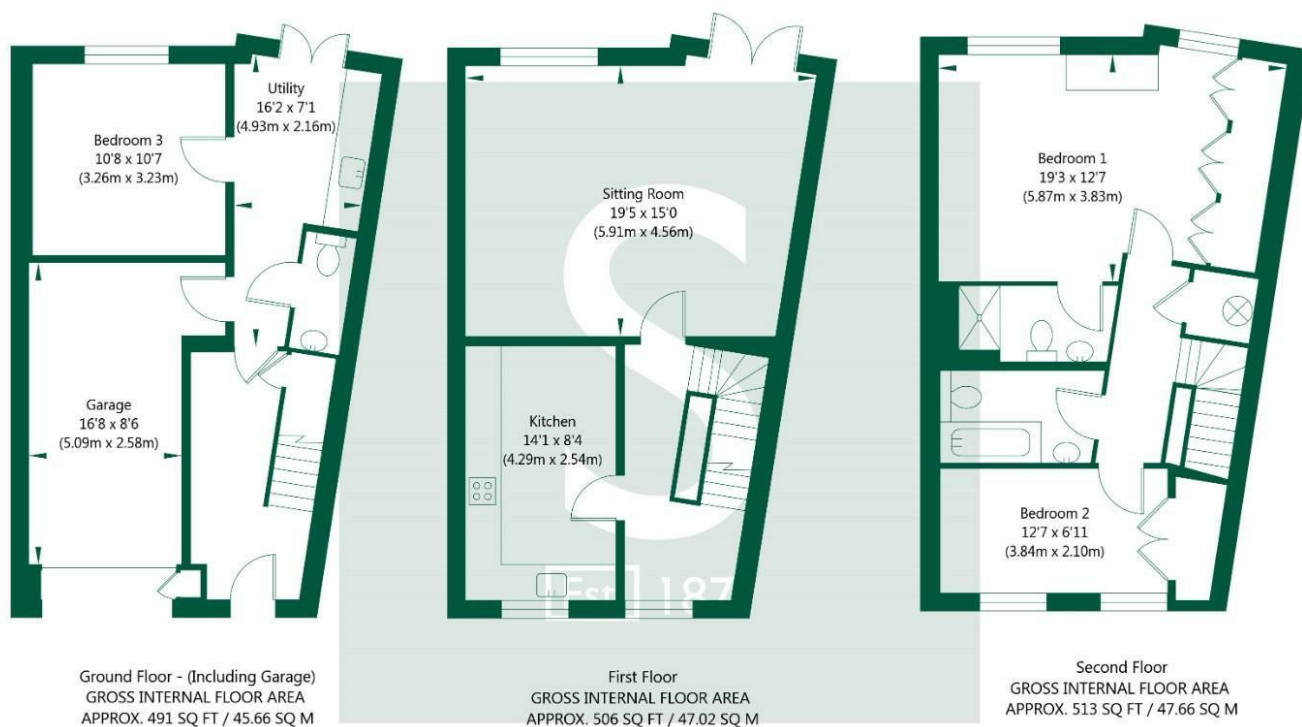
EPC Rating: C

Council Tax: F - City of York

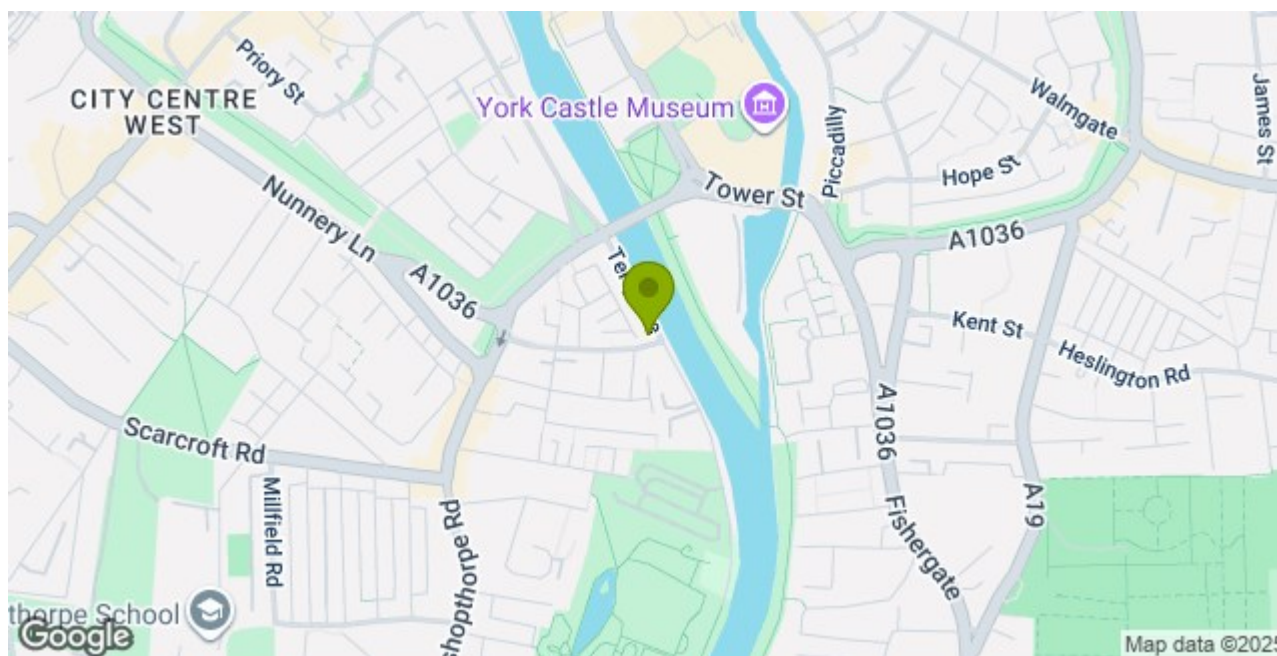
Viewings: Strictly via the letting agent – Stephenson's Estate Agents - 01904 625533

*Download speeds vary by broadband providers so please check with them before securing your rental property.

Postern House, Postern Close, York, YO23 1PH



NOT TO SCALE - FOR ILLUSTRATIVE PURPOSES ONLY
APPROXIMATE GROSS INTERNAL FLOOR AREA 1510 SQ FT / 140.34 SQ M - (Including Garage)
All measurements and fixtures including doors and windows are approximate and should be independently verified.
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Stephensons

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